

**THERMAL COMFORT:**

**Glasazing Door/windows:**  
 Aluminium framed clear performance glazing to units (2.02, 2.03, 2.05, 13.02, 3.03, 3.05, 4.02, 4.03, 4.05) (17.03, 17.05, 18.05, 18.06, 19.05, 20.05, 20.06 and 27.04)  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%)  
 A = awning windows + hinged glazed doors  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
 B = sliding doors/windows + fixed glazing + louvre windows

Aluminium framed low clear glazing to all other units:  
 U-Value: 4.70 (equal to or lower than) SHGC: 0.63 (±10%)  
 Given values are NFRC, total window values

**Roof:**  
 Concrete roof no insulation. Default light colour

**Ceiling:**  
 Plasterboard ceiling, R2.0 insulation where exposed roof is above  
 Plasterboard ceiling, R1.0 insulation where balcony is above as per assessor certificate  
 Plasterboard ceiling, no insulation where neighbouring units are above  
 Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights.

**External wall:**  
 1/2" C glazing walls with R1.5 insulation, furring channel, plasterboard lined internally.  
 Colouredbacked glass with R1.5 insulation, furring channel, plasterboard lined internally.  
 Default medium colour

**Inter tenancy walls:**  
 125mm Hvel power panel wall – R1.2 (50mm) insulation to corridor walls – no requirement for insulation between neighbours  
 200mm minimum concrete to lift shaft and fire stairs walls with R1.2 (50mm) insulation  
 Acoustic insulation as required

**Walls with-in dwellings:**  
 Plasterboard on studs – no insulation

**Floors:**  
 Concrete between levels no insulation  
 Concrete – suspended open subfloor with an R1.2 insulation as per assessor certificate

**Floor coverings:**  
 Carpet to bedrooms. Tiles to bathrooms and laundry. Timber to living areas

**Central rainwater storage:**  
 Tank size 10,000L. Collecting from 1253m2 roof area (can be collected from T1 & T2 roof top) Connected to outdoor tap for irrigation of all landscaped areas

**Fire sprinkler systems:**  
 Fire sprinkler test water to be contained in a closed system

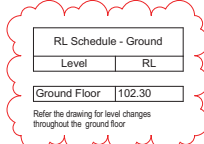
**Hot water system:**  
 Central gas-fired boiler with R0.6 (1-25mm) insulation to rmg main and supply runs

**architectus**

Architectus Group Pty Ltd is the owner of the copyright subsisting in these drawings, plans, designs and specifications. They must not be used, reproduced or copied, in whole or in part, nor may the information, ideas and concepts therein contained (which are confidential to Architectus Group Pty Ltd) be disclosed to any person without the prior written consent of that company.

Do not scale drawings. Verify all dimensions on site

Issue	amendment	date
P	FINAL DRAFT DA ISSUE	04/02/2016
D	DA ISSUE	08/02/2016
R	DA SUBMISSION	11/02/2016
S	DA SUBMISSION AMENDMENTS	29/06/2016
T	FOR RECONSTRUCTION	12/07/2016
U	FOR INFORMATION	24/11/2016
V	DRAFT DA ISSUE	25/11/2016
W	DRAFT DA ISSUE	02/12/2016
X	AMENDED PLAN SUBMISSION	03/02/2017
Y	GOODS LIFT ACCESS MODIFICATION	01/03/2017
Z	AMENDED PLAN SUBMISSION	20/03/2017
AA	Revised DA Plans Following DEAP	21/03/2017
BB	FOR DA RE-SUBMISSION	15/04/2017
CC	AMENDED DA SUBMISSION	05/06/2017



**architectus**<sup>TM</sup>

Architectus Sydney  
 Level 18 MLC Centre  
 18 Martin Place  
 Sydney NSW 2000  
 T (61 2) 6252 8400  
 F (61 2) 6252 8600  
 sydney@architectus.com.au  
 ABN 90 131 245 684

checked: AR/NR/MC/PL/HN  
 scale: FH  
 project no: 140309.00

**AMENDED DA ISSUE**

project  
 12-22 LANGSTON PLACE, EPPING

drawing  
 Ground Floor Plan / Site Plan

drawing no. **DA1004**  
 issue **CC**

LANGSTON PLACE

PEMBROKE STREET

EPHING ROAD

CHAMBERS COURT

PEMBROKE PARK

**THERMAL COMFORT:**

**Glasazing Door/windows:**  
 Aluminium framed clear performance glazing to units: (2.02, 2.03, 2.05, 13.02, 3.03, 3.05) (4.02, 4.03, 4.05) (17.02, 17.03, 17.05, 18.05, 18.06, 20.05, 20.06 and 27.04)  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%)  
 A = awning windows + hinged glazed doors  
 B = sliding door/windows + fixed glazing + louvers windows  
 Aluminium framed low-e clear glazing to all other units:  
 U-Value: 4.70 (equal to or lower than) SHGC: 0.59 (±10%)  
 Given values are NFRC, total window values

**Roof:**  
 Concrete roof no insulation. Default light colour

**Ceiling:**  
 Plasterboard ceiling, R2.0 insulation where exposed roof is above  
 Plasterboard ceiling, R1.0 insulation where balcony is above as per assessor certificate  
 Plasterboard ceiling, no insulation where neighbouring units are above  
 Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights.

**External wall:**  
 100mm concrete walls with R1.5 insulation, furring channel, plasterboard lined internally.  
 Colourbacked glass with R1.5 insulation, furring channel, plasterboard lined internally.  
 Default medium colour

**Inter tenancy walls:**  
 125mm Hesel power panel wall - R1.2 (50mm) insulation to corridor walls - no requirement for insulation between neighbours.  
 200mm minimum concrete to lift shaft and fire stairs walls with R1.2 (50mm) insulation.  
 Acoustic insulation as required

**Walls with-in dwellings:**  
 Plasterboard on studs - no insulation

**Floors:**  
 Concrete between levels no insulation  
 Concrete - suspended open subfloor with an R1.2 insulation as per assessor certificate

**Floor coverings:**  
 Carpet to bedrooms. Tiles to bathrooms and laundry. Timber to living areas

**Central rainwater storage:**  
 Tank size 10,000L. Collecting from 1253m<sup>2</sup> roof area (can be collected from T1 & T2 roof top) Connected to outdoor tap for irrigation of all landscaping

**Fire sprinkler systems:**  
 Fire sprinkler test water to be contained in a closed system

**Hot water system:**  
 Central gas-fired boiler with R0.6 (~25mm) insulation to ring main and supply risers



Issue	amendment	date
D	ISSUED FOR GO	03/11/2015
E	ISSUE FOR INFORMATION	18/11/15
F	DRAFT DA ISSUE	22/12/2015
G	DRAFT DA ISSUE	22/01/2016
H	FINAL DRAFT DA ISSUE	04/02/2016
I	DA ISSUE	08/02/2016
J	DA SUBMISSION	11/02/2016
K	DA SUBMISSION RESPONSE AMENDMENTS	24/02/2016
L	FOR INFORMATION	12/07/2016
M	FOR INFORMATION	24/11/2016
N	DRAFT DA ISSUE	25/11/2016
O	DRAFT DA ISSUE	02/12/2016
P	AMENDED PLAN SUBMISSION	03/02/2017
Q	AMENDED DA SUBMISSION	05/06/2017



Unit Types		RL Schedule - Level 1	
		Level	RL
1BED		Level 1	107.35
1BED+S			
2BED			
2BED+S			

architectus™

Sydney Melbourne Adelaide Auckland Christchurch Brisbane Shanghai  
 Architectus Sydney Level 18 MLC Centre 18 Martin Place Sydney NSW 2000  
 T (61 2) 8252 8400 F (61 2) 8252 8600  
 sydney@architectus.com.au  
 AIN 90 131 245 684



checked	scale	As indicated@A1
AR/NR/MC/PL/HN	project no	140309.00

**AMENDED DA ISSUE**

project  
 12-22 LANGSTON PLACE, EPPING

drawing  
 Level 1 Floor Plan

drawing no. **DA1005** issue **Q**

architectus  
 Architectus Group Pty Ltd is the owner of the copyright subsisting in these drawings, plans, designs and specifications. They must not be used, reproduced or copied, in whole or in part, nor may the information, ideas and concepts therein contained (which are confidential to Architectus Group Pty Ltd) be disclosed to any person without the prior written consent of that company.

Do not scale drawings. Verify all dimensions on site

**TERMINAL COMMENTS:**

**Glazing Door/windows:**  
 Aluminium framed clear performance glazing to units (2.02, 2.03, 2.05, 13.02, 3.03, 3.05, 4.02, 4.03, 4.05) - [17.02, 17.03, 17.05, 18.05, 19.05, 20.05, 20.06 and 27.04]  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%)  
 A = awning windows + bi-part glazed doors  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
 B = sliding door/windows + fixed glazing + louvre windows  
 Aluminium framed low-e clear glazing to all other units:  
 U-Value: 4.70 (equal to or lower than) SHGC: 0.63 (±10%)  
 Given values are NFRC, total window values

**Roof:**  
 Concrete roof no insulation. Default light colour

**Ceiling:**  
 Plasterboard ceiling, R2.0 insulation where exposed roof is above  
 Plasterboard ceiling, R1.0 insulation where balcony is above as per assessor certificate  
 Plasterboard ceiling, no insulation where neighbouring units are above  
 Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights.

**External wall:**  
 150mm masonry walls with R1.5 insulation, furring channel, plasterboard lined internally.  
 Colourbacked glass with R1.5 insulation, furring channel, plasterboard lined internally.  
 Default medium colour

**Inter tenancy walls:**  
 75mm Hesel power panel wall - R1.2 (50mm) insulation to corridor walls - no requirement for insulation between neighbours.  
 200mm minimum concrete to lift shaft and fire stairs walls with R1.2 (50mm) insulation.  
 Acoustic insulation as required

**Walls with-in dwellings:**  
 Plasterboard on studs - no insulation

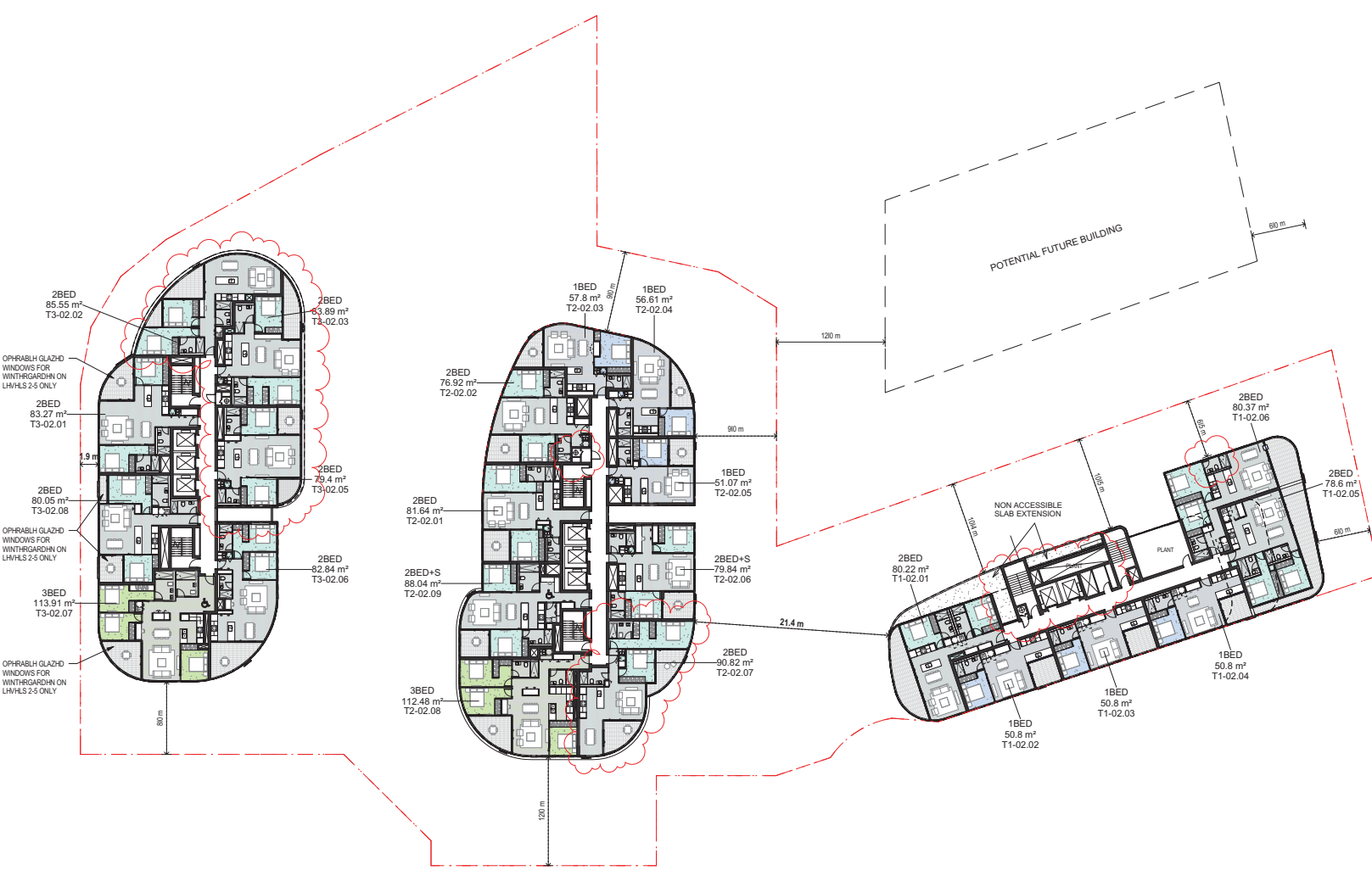
**Floors:**  
 Concrete between levels no insulation  
 Concrete - suspended open subfloor with an R1.2 insulation as per assessor certificate

**Floor coverings:**  
 Carpet to bedrooms. Tiles to bathrooms and laundry. Timber to living areas

**Central rainwater storage:**  
 Tank size 10,000L. Collecting from 1253m2 roof area (can be collected from T1 & T2 roof top) Connected to outdoor tap for irrigation of all landscaping

**Fire sprinkler systems:**  
 Fire sprinkler test water to be contained in a closed system

**Hot water system:**  
 Central gas-fired boiler with R0.6 (~25mm) insulation to ring main and supply risers



**architectus**

Architectus Group Pty Ltd is the owner of the copyright subsisting in these drawings, plans, designs and specifications. They must not be used, reproduced or copied, in whole or in part, nor may the information, ideas and concepts therein contained (which are confidential to Architectus Group Pty Ltd) be disclosed to any person without the prior written consent of that company.

issue	amendment	date
C	ISSUE FOR INFORMATION	21/10/2015
D	ISSUED FOR DS	03/11/2015
E	DRAFT DA ISSUE	22/12/2015
F	DRAFT DA ISSUE	22/12/2015
G	FINAL DRAFT DA ISSUE	04/02/2016
H	DA ISSUE	08/02/2016
I	DA SUBMISSION	11/02/2016
J	DA SUBMISSION RESPONSE AMENDMENTS	24/02/2016
K	FOR INFORMATION	24/11/2016
L	DRAFT DA ISSUE	25/11/2016
M	DRAFT DA ISSUE	02/12/2016
N	AMENDED PLAN SUBMISSION	03/02/2017
O	REVISED DA PLAN FOLLOWING DS/AF	21/03/2017
P	AMENDED DA SUBMISSION	05/06/2017



Unit Types

Unit Type	Level	RL
1BED	Level 2	110.40
2BED	Level 3	113.45
2BED+S		
3BED		



**architectus**<sup>TM</sup>

Sydney  
Melbourne  
Adelaide  
Auckland  
Christchurch  
Brisbane  
Shanghai

Architectus Sydney  
Level 18 MLC Centre  
10 Martin Place  
Sydney NSW 2000  
T 61 2 8252 8400  
F 61 2 8252 8600  
sydney@architectus.com.au  
ABN 90 131 245 684

checked: FH scale: 1:250@A1  
 drawn: AR/NR/MC/PL/HN project no: 140309.00

**AMENDED DA ISSUE**

project  
 12-22 LANGSTON PLACE, EPPING

drawing  
 Levels 2-3 Floor Plan

drawing no. **DA1006** issue **P**

**TERMINAL COMMENT:**

**Glasazing Door/windows:**  
 Aluminium framed clear performance glazing to units: (2.02, 2.03, 2.05, 13.02, 3.03, 3.05, 4.02, 4.03, 4.05) - [17.03, 17.05, 17.06, 18.05, 19.05, 20.05, 20.06 and 27.04]  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%)  
 A = awning windows + framed glazed doors  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
 B = sliding door/windows + fixed glazing + louvre windows  
 Aluminium framed low-e clear glazing to all other units:  
 U-Value: 4.70 (equal to or lower than) SHGC: 0.63 (±10%)  
 Given values are NFRC, total window values

**Roof:**  
 Concrete roof no insulation. Default light colour

**Ceiling:**  
 Plasterboard ceiling, R2.0 insulation where exposed roof is above  
 Plasterboard ceiling, R1.0 insulation where balcony is above as per assessor certificate  
 Plasterboard ceiling, no insulation where neighbouring units are above  
 Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights.

**External wall:**  
 150mm masonry walls with R1.5 insulation, furring channel, plasterboard lined internally.  
 Colouredbacked glass with R1.5 insulation, furring channel, plasterboard lined internally.  
 Default medium colour

**Inter tenancy walls:**  
 125mm Hesel power panel wall - R1.2 (50mm) insulation to corridor walls - no requirement for insulation between neighbours.  
 200mm minimum concrete to lift shaft and fire stairs walls with R1.2 (50mm) insulation.  
 Acoustic insulation as required

**Walls with-in dwellings:**  
 Plasterboard on studs - no insulation

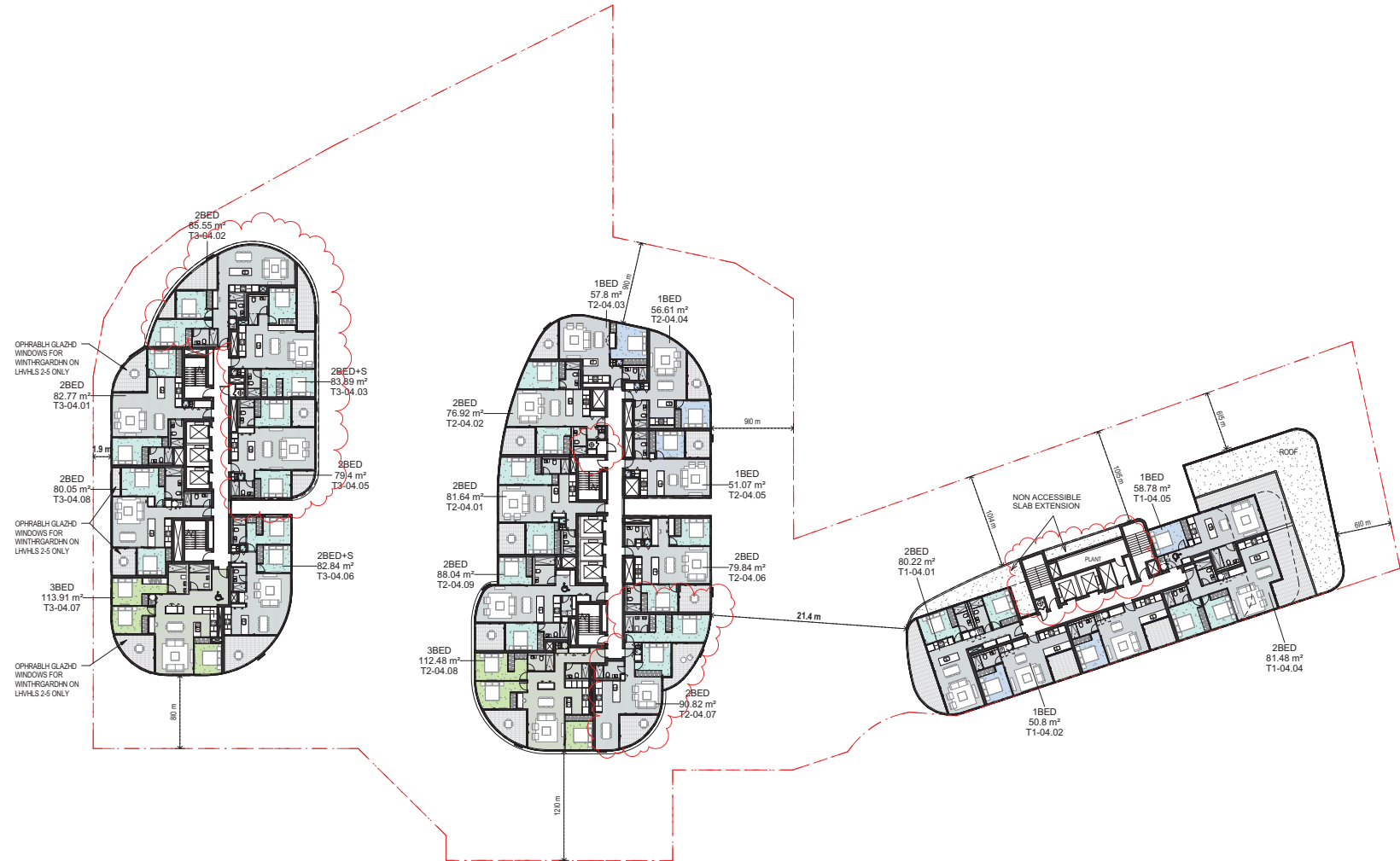
**Floors:**  
 Concrete between levels no insulation  
 Concrete - suspended open subfloor with an R1.2 insulation as per assessor certificate

**Floor coverings:**  
 Carpet to bedrooms. Tiles to bathrooms and laundry. Timber to living areas

**Central rainwater storage:**  
 Tank size 10,000L. Collecting from 1253m2 roof area (can be collected from T1 & T2 roof top) Connected to outdoor tap for irrigation of all landscaping

**Fire sprinkler systems:**  
 Fire sprinkler test water to be contained in a closed system

**Hot water system:**  
 Central gas-fired boiler with R0.6 (~25mm) insulation to ring main and supply risers



**architectus**  
 Architectus Group Pty Ltd is the owner of the copyright subsisting in these drawings, plans, designs and specifications. They must not be used, reproduced or copied, in whole or in part, nor may the information, ideas and concepts therein contained (which are confidential to Architectus Group Pty Ltd) be disclosed to any person without the prior written consent of that company.

Issue	amendment	date
A	FOR INFORMATION	24/11/2016
B	DRAFT DA ISSUE	25/11/2016
C	DRAFT DA ISSUE	02/12/2016
D	AMENDED PLAN SUBMISSION	03/02/2017
E	REVISED DA Plans Following DEAP	21/03/2017
F	AMENDED DA SUBMISSION	05/06/2017



Unit Types

RL Schedule - Level 4	
Level	RL
Level 4	116.50

**architectus**<sup>TM</sup>  
 Architectus Sydney  
 Level 18 MLC Centre  
 19 Martin Place  
 Sydney NSW 2000  
 T 61 2 8252 8400  
 F 61 2 8252 8600  
 sydney@architectus.com.au  
 AIN 90 131 245 684

checked: FH scale: 1: 250@A1  
 AR/NF/MC/PL/HN/PW/SD project no: 140309.00

**AMENDED DA ISSUE**

project  
 12-22 LANGSTON PLACE, EPPING

drawing  
 Level 4 Floor Plan

drawing no. **DA1007** issue **F**

Do not scale drawings. Verify all dimensions on site



**TERMINAL COMMENT:**

**Glasazing Door/windows:**  
 Aluminium framed clear performance glazing to units: (2.02, 2.03, 2.05, 13.02, 3.03, 3.05) (4.02, 4.03, 4.05) (17.02, 17.03, 17.05, 18.05, 19.05, 19.06) ...  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%)  
 A = awning windows + hinged glazed doors  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
 B = sliding doors/windows + fixed glazing + louvre windows

**Aluminium framed low-e clear glazing to all other units:**  
 U-Value: 4.70 (equal to or lower than) SHGC: 0.63 (±10%)  
 Given values are NFRC, total window values

**Roof:**  
 Concrete roof no insulation. Default light colour

**Ceiling:**  
 Plasterboard ceiling, R2.0 insulation where exposed roof is above  
 Plasterboard ceiling, R1.0 insulation where balcony is above as per assessor certificate  
 Plasterboard ceiling, no insulation where neighbouring units are above  
 Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights.

**External wall:**  
 150mm concrete walls with R1.5 insulation, furring channel, plasterboard lined internally.  
 Colourbacked glass with R1.5 insulation, furring channel, plasterboard lined internally.  
 Default medium colour

**Inter tenancy walls:**  
 150mm Hesel power panel wall – R1.2 (50mm) insulation to corridor walls – no requirement for insulation between neighbours.  
 200mm minimum concrete to lift shaft and fire stairs walls with R1.2 (50mm) insulation.  
 Acoustic insulation as required

**Walls with-in dwellings:**  
 Plasterboard on studs – no insulation

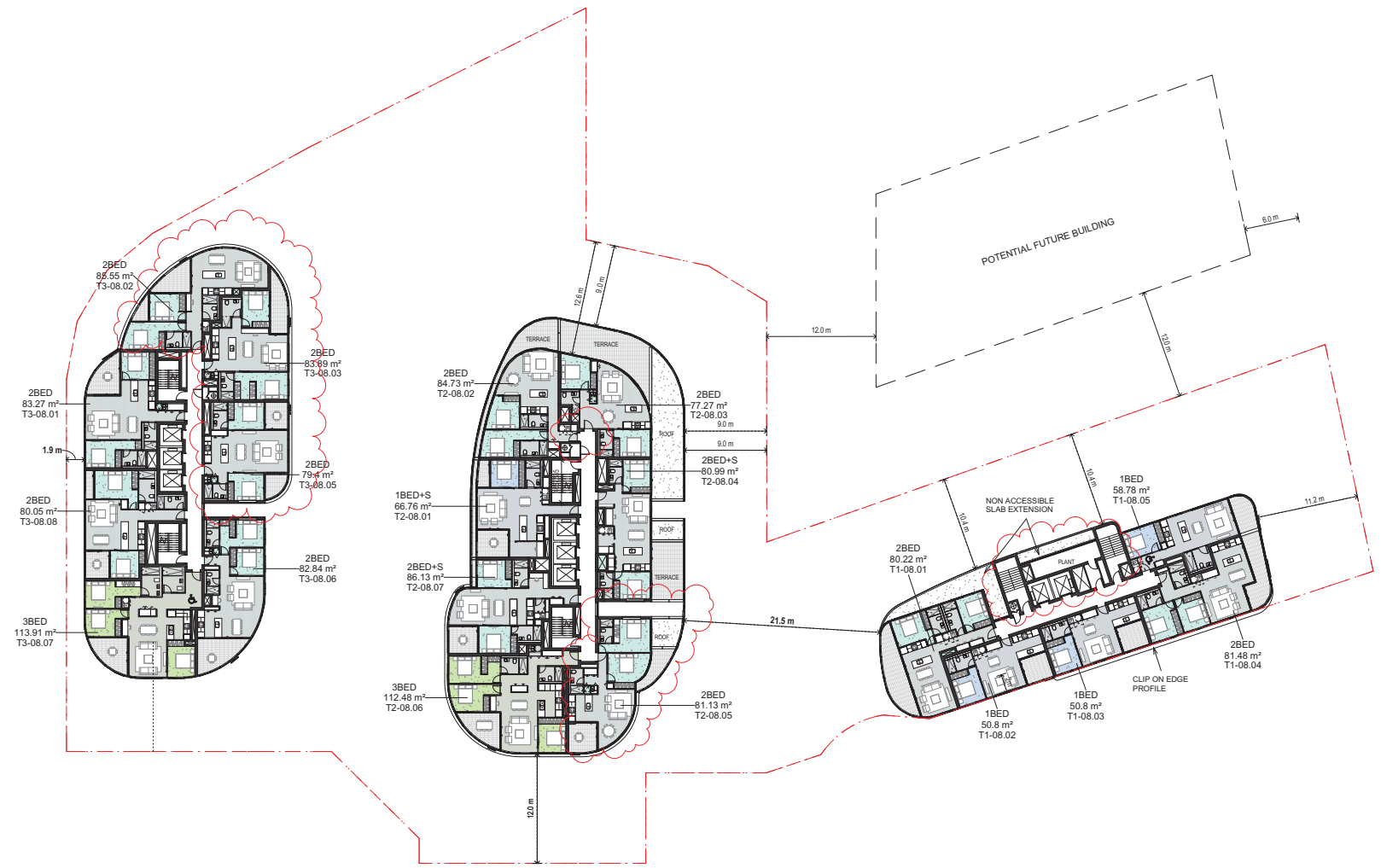
**Floors:**  
 Concrete between levels no insulation  
 Concrete – suspended open subfloor with an R1.2 insulation as per assessor certificate

**Floor coverings:**  
 Carpet to bedrooms. Tiles to bathrooms and laundry. Timber to living areas

**Central rainwater storage:**  
 Tank size 15,000L. Collecting from 1253m2 roof area (can be collected from T1 & T2 roof top) Connected to outdoor tap for irrigation of all landscaping

**Fire sprinkler systems:**  
 Fire sprinkler test water to be contained in a closed system

**Hot water system:**  
 Central gas-fired boiler with R0.6 (~25mm) insulation to ring main and supply risers



**architectus**  
 Architectus Group Pty Ltd is the owner of the copyright subsisting in these drawings, plans, designs and specifications. They must not be used, reproduced or copied, in whole or in part, nor may the information, ideas and concepts therein contained (which are confidential to Architectus Group Pty Ltd) be disclosed to any person without the prior written consent of that company.

Issue	amendment	date
A	DRAFT DA ISSUE	22/12/2015
B	DRAFT DA ISSUE	23/01/2016
C	FINAL DRAFT DA ISSUE	04/02/2016
D	DA ISSUE	08/02/2016
E	DA SUBMISSION	11/02/2016
F	DA SUBMISSION RESPONSE AMENDMENTS	24/05/2016
G	FOR INFORMATION	24/11/2016
H	DRAFT DA ISSUE	25/11/2016
I	DRAFT DA ISSUE	02/12/2016
J	AMENDED PLAN SUBMISSION	03/02/2017
K	AMENDED DA SUBMISSION	03/06/2017



**Unit Types**

RL Schedule - Level 8	
Level	RL
Level 8	128.70

**architectus**<sup>TM</sup>  
 Architectus Sydney  
 Level 18 MLC Centre  
 18 Martin Place  
 Sydney NSW 2000  
 T (61 2) 6252 8400  
 F (61 2) 6252 8600  
 sydney@architectus.com.au  
 ABN 90 131 245 684

Sydney  
 Melbourne  
 Adelaide  
 Auckland  
 Christchurch  
 Brisbane  
 Shanghai

checked FH  
 scale  
 drawn AR/NR/MC/PL/HN project no 140309.00

**AMENDED DA ISSUE**

project  
 12-22 LANGSTON PLACE, EPPING

drawing  
 Level 8 Floor Plan

drawing no. DA1009 issue K

Do not scale drawings. Verify all dimensions on site



Issue	amendment	date
B	ISSUE FOR INFORMATION	16/10/2015
C	ISSUE FOR INFORMATION	23/10/2015
D	ISSUED FOR CBS	03/11/2015
E	DRAFT DA ISSUE	22/12/2015
F	DRAFT DA ISSUE	22/01/2016
G	FINAL DRAFT DA ISSUE	04/02/2016
H	DA ISSUE	08/02/2016
I	DA SUBMISSION	11/02/2016
J	DA SUBMISSION RESPONSE AMENDMENTS	24/05/2016
K	FOR INFORMATION	24/11/2016
L	DRAFT DA ISSUE	25/11/2016
M	DRAFT DA ISSUE	02/12/2016
N	AMENDED PLAN SUBMISSION	03/02/2017
O	AMENDED DA SUBMISSION	05/06/2017



Unit Types

- 1BED
- 2BED
- 2BED+S
- 3BED

RL Schedule - Level 9

Level	RL
Level 9	131.75

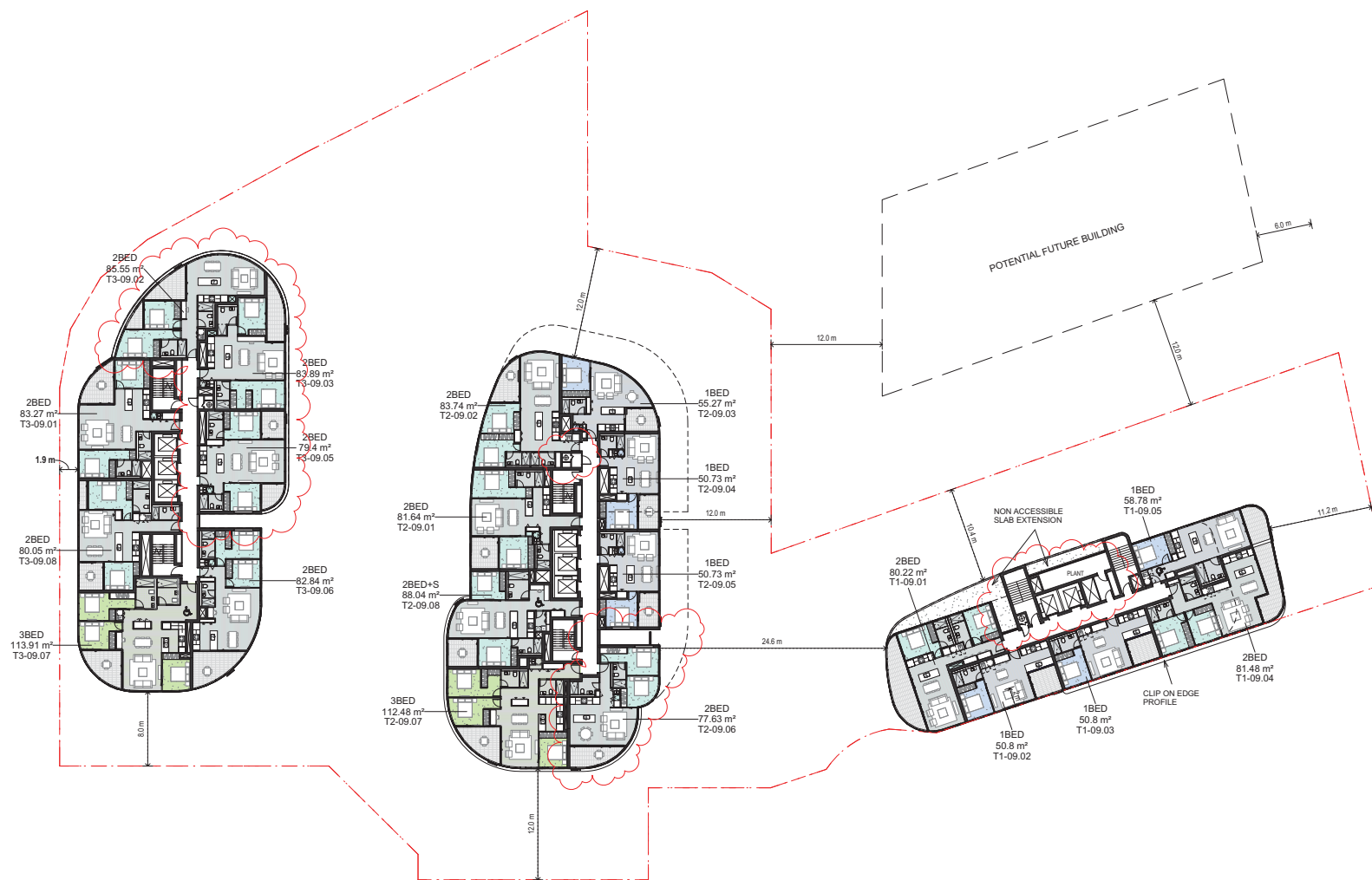


AMENDED DA ISSUE

project 12-22 LANGSTON PLACE, EPPING

drawing no. Level 9 Floor Plan

DA1010 O



**INTERNAL COMFORT:**

**Glazing Door/windows:**  
Aluminium framed clear performance glazing to units: (2.02, 2.03, 2.05, 13.02, 3.03, 3.05, 4.02, 4.03, 4.05) - (17.02, 17.03, 17.05, 18.05, 19.05, 19.06) - 24.05 and 27.04  
U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%)  
A = awning windows + bonded glazed doors  
U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
B = sliding door/windows + fixed glazing + louvre windows

Aluminium framed low-e clear glazing to all other units:  
U-Value: 4.70 (equal to or lower than) SHGC: 0.63 (±10%)  
Given values are NFRC, total window values

**Roof:**  
Concrete roof no insulation. Default light colour

**Ceiling:**  
Plasterboard ceiling, R2.0 insulation where exposed roof is above  
Plasterboard ceiling, R1.0 insulation where balcony is above as per assessor certificate  
Plasterboard ceiling, no insulation where neighbouring units are above  
Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights.

**External wall:**  
FC sheathing walls with R1.5 insulation, furring channel, plasterboard lined internally.  
Colourbacked glass with R1.5 insulation, furring channel, plasterboard lined internally.  
Default medium colour

**Inter tenancy walls:**  
125mm Hesel power panel wall - R1.2 (50mm) insulation to corridor walls - no requirement for insulation between neighbours.  
200mm minimum concrete to lift shaft and fire stairs walls with R1.2 (50mm) insulation.  
Acoustic insulation as required

**Walls with-in dwellings:**  
Plasterboard on studs - no insulation

**Floors:**  
Concrete between levels no insulation  
Concrete - suspended open outdoor with an R1.2 insulation as per assessor certificate

**Floor coverings:**  
Carpet to bedrooms. Tiles to bathrooms and laundry. Timber to living areas

**Central rainwater storage:**  
Tank size 10,000L. Collecting from 1253m2 roof area (can be collected from T1 & T2 roof top) Connected to outdoor tap for irrigation of all landscaping

**Fire sprinkler systems:**  
Fire sprinkler test water to be contained in a closed system

**Hot water system:**  
Central gas-fired boiler with R0.6 (~25mm) insulation to ring main and supply risers



Architectus Group Pty Ltd is the owner of the copyright subsisting in these drawings, plans, designs and specifications. They must not be used, reproduced or copied, in whole or in part, nor may the information, ideas and concepts therein contained (which are confidential to Architectus Group Pty Ltd) be disclosed to any person without the prior written consent of that company.



Do not scale drawings. Verify all dimensions on site

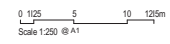
issue	amendment	date
B	ISSUE FOR INFORMATION	16/10/2015
C	ISSUE FOR INFORMATION	23/10/2015
D	ISSUED FOR QS	03/11/2015
E	DRAFT DA ISSUE	22/12/2015
F	DRAFT DA ISSUE	22/01/2016
G	FINAL DRAFT DA ISSUE	04/02/2016
H	DA ISSUE	08/02/2016
I	DA SUBMISSION	11/02/2016
J	DA SUBMISSION RESPONSE AMENDMENTS	24/05/2016
K	FOR INFORMATION	24/11/2016
L	DRAFT DA ISSUE	25/11/2016
M	DRAFT DA ISSUE	02/12/2016
N	AMENDED PLAN SUBMISSION	03/02/2017
O	AMENDED DA SUBMISSION	05/06/2017



Unit Types

- 1BED
- 2BED
- 2BED+S
- 3BED

RL Schedule - Level 10	
Level	RL
Level 10	134.80



architectus™

Sydney Melbourne Adelaide Auckland Christchurch Brisbane Shanghai  
 Level 18 MLC Centre  
 19 Martin Place  
 Sydney NSW 2000  
 T 61 2 8252 8400  
 F 61 2 8252 8600  
 sydney@architectus.com.au  
 ABN 99 131 245 684

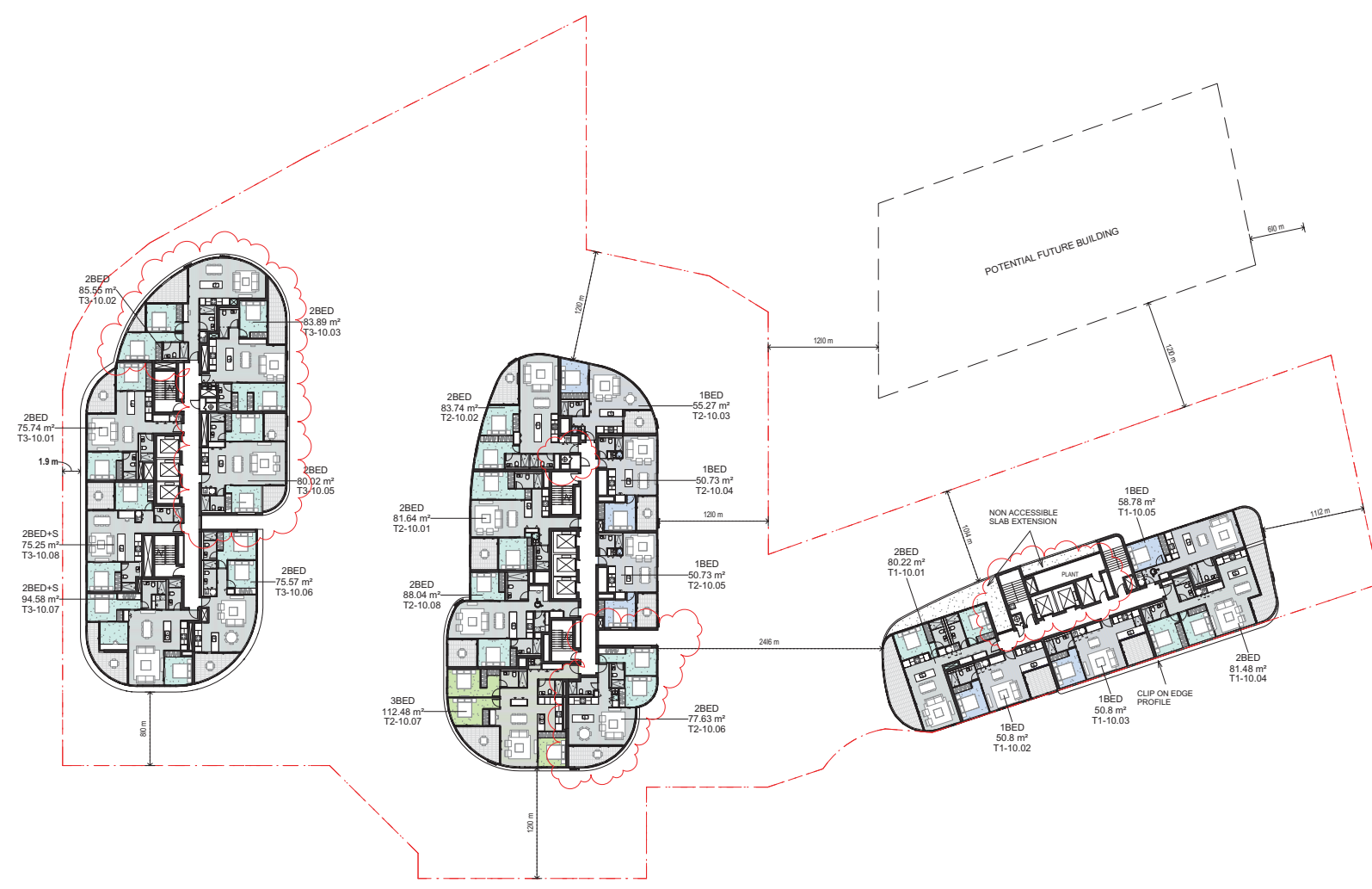
checked	FH	scale	1:250@A1
drawn	AR/NR/MC/PL/HN	project no	140309.00

# AMENDED DA ISSUE

project  
 12-22 LANGSTON PLACE, EPPING

drawing  
 Level 10 Floor Plan

drawing no. **DA1011** issue **O**



**INTERNAL COMMENTS:**

**Glazing Door/windows:**  
 Aluminium framed clear performance glazing to units: (2.02, 2.03, 2.05, 13.02, 3.03, 3.05, 4.02, 4.03, 4.05) - [17.03, 17.05, 17.09, 18.05, 19.05, 19.09, 20.05 and 21.04]  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%)  
 A = awning windows + fixed glazed doors  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
 B = sliding door/windows + fixed glazing + louvre windows

**Aluminium framed low-e clear glazing to all other units:**  
 U-Value: 4.70 (equal to or lower than) SHGC: 0.63 (±10%)  
 Given values are NFRC, total window values

**Roof:**  
 Concrete roof no insulation. Default light colour

**Ceiling:**  
 Plasterboard ceiling, R2.0 insulation where exposed roof is above  
 Plasterboard ceiling, R1.0 insulation where balcony is above as per assessor certificate  
 Plasterboard ceiling, no insulation where neighbouring units are above  
 Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights.

**External wall:**  
 150mm masonry walls with R1.5 insulation, furring channel, plasterboard lined internally.  
 Colourbacked glass with R1.5 insulation, furring channel, plasterboard lined internally.  
 Default medium colour

**Inter tenancy walls:**  
 125mm Hebel power panel wall - R1.2 (50mm) insulation to corridor walls - no requirement for insulation between neighbours.  
 200mm minimum concrete to lift shaft and fire stairs walls with R1.2 (50mm) insulation.  
 Acoustic insulation as required

**Walls with-in dwellings:**  
 Plasterboard on studs - no insulation

**Floors:**  
 Concrete between levels no insulation  
 Concrete - suspended open subfloor with an R1.2 insulation as per assessor certificate

**Floor coverings:**  
 Carpet to bedrooms. Tiles to bathrooms and laundry. Timber to living areas

**Central rainwater storage:**  
 Tank size 10,000L. Collecting from 1253m2 roof area (can be collected from T1 & T2 roof top) Connected to outdoor tap for irrigation of all landscaping

**Fire sprinkler systems:**  
 Fire sprinkler test water to be contained in a closed system

**Hot water system:**  
 Central gas-fired boiler with R0.6 (~25mm) insulation to ring main and supply risers

**TERMINAL COMMENT:**

**Glazing Door/windows:**  
 Aluminium framed clear performance glazing to units: **2.02, 2.03, 2.05, 13.02, 3.03, 3.05, 4.02, 4.03, 4.05, 17.02, 17.03, 17.05, 18.05, 19.05, 20.05, 20.06 and 27.04**  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±10%)  
 A = awning windows + fixed glazed doors  
 U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
 B = sliding door/windows + fixed glazing + louvre windows

**Aluminium framed low-e clear glazing to all other units:**  
 U-Value: 4.70 (equal to or lower than) SHGC: 0.63 (±10%)  
 Given values are NFRC, total window values

**Roof:**  
 Concrete roof no insulation. Default light colour

**Ceiling:**  
 Plasterboard ceiling, R2.0 insulation where exposed roof is above  
 Plasterboard ceiling, R1.0 insulation where balcony is above as per assessor certificate  
 Plasterboard ceiling, no insulation where neighbouring units are above  
 Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights.

**External wall:**  
 150mm double brick with R1.5 insulation, furring channel, plasterboard lined internally.  
 Colourbacked glass with R1.5 insulation, furring channel, plasterboard lined internally.  
 Default medium colour

**Inter tenancy walls:**  
 125mm Hebel power panel wall – R1.2 (50mm) insulation to corridor walls – no requirement for insulation between neighbours.  
 200mm minimum concrete to lift shaft and fire stairs walls with R1.2 (50mm) insulation.  
 Acoustic insulation as required

**Walls with-in dwellings:**  
 Plasterboard on studs – no insulation

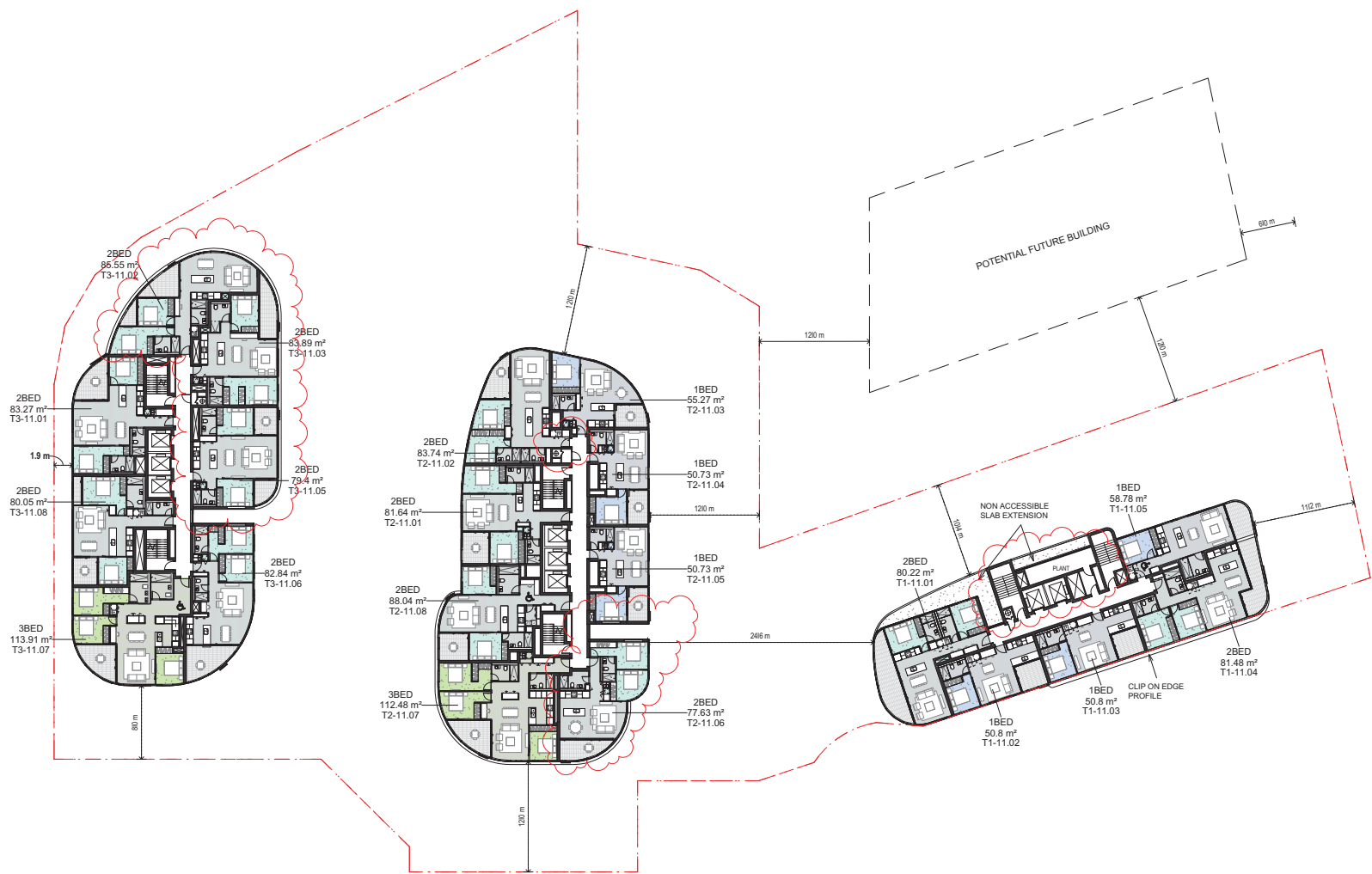
**Floors:**  
 Concrete between levels no insulation  
 Concrete – suspended open subfloor with an R1.2 insulation as per assessor certificate

**Floor coverings:**  
 Carpet to bedrooms. Tiles to bathrooms and laundry. Timber to living areas

**Central rainwater storage:**  
 Tank size 10,000L. Collecting from 1253m<sup>2</sup> roof area (can be collected from T1 & T2 roof top) Connected to outdoor tap for irrigation of all landscaping

**Fire sprinkler systems:**  
 Fire sprinkler test water to be contained in a closed system

**Hot water system:**  
 Central gas-fired boiler with R0.6 (~25mm) insulation to ring main and supply risers



**architectus**  
 Architectus Group Pty Ltd is the owner of the copyright subsisting in these drawings, plans, designs and specifications. They must not be used, reproduced or copied, in whole or in part, nor may the information, ideas and concepts therein contained (which are confidential to Architectus Group Pty Ltd) be disclosed to any person without the prior written consent of that company.

Issue	amendment	date
B	ISSUE FOR INFORMATION	16/10/2015
C	ISSUE FOR INFORMATION	23/10/2015
D	ISSUED FOR CBS	03/11/2015
E	DRAFT DA ISSUE	22/12/2015
F	DRAFT DA ISSUE	22/01/2016
G	FINAL DRAFT DA ISSUE	04/02/2016
H	DA ISSUE	08/02/2016
I	DA SUBMISSION	11/02/2016
J	DA SUBMISSION RESPONSE AMENDMENTS	24/05/2016
K	FOR INFORMATION	24/11/2016
L	DRAFT DA ISSUE	25/11/2016
M	DRAFT DA ISSUE	02/12/2016
N	AMENDED PLAN SUBMISSION	03/02/2017
O	AMENDED DA SUBMISSION	05/06/2017



Unit Types

- 1BED
- 2BED
- 3BED

Level	RL
Level 11	137.85
Level 12	140.90
Level 13	143.95
Level 14	147.00
Level 15	150.05

**architectus**<sup>TM</sup>  
 Architectus Sydney  
 Level 18 MLC Centre  
 18 Martin Place  
 Sydney NSW 2000  
 T 61 2 8252 8400  
 F 61 2 8252 8600  
 sydney@architectus.com.au  
 AIN 90 131 245 684



checked: FH scale: 1: 250@A1  
 drawn: AR/NR/MC/PL/HN project no: 140309.00

**AMENDED DA ISSUE**

project  
 12-22 LANGSTON PLACE, EPPING

drawing  
 Levels 11-15 Floor Plan

drawing no. **DA1012** issue **O**

Do not scale drawings. Verify all dimensions on site